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**PLANNING COMMISSION**

Sujendra Mishra, *Chair*  
Rick Biasotti, *Vice Chair*  
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Bob Marshall, Jr.  
Perry Petersen  
Joe Sammut

**PLANNING COMMISSION  
STAFF REPORT  
AGENDA ITEM NO. E1  
June 20, 2006**

**PROJECT LOCATION**

1. Address: 1657 Jenevein Avenue
2. Assessor's Parcel No: 020-262-020
3. Zoning District: R-1 (Single Family Residential District)
4. General Plan Classification: Low Density Residential

**EXHIBITS**

- A:** Site Location  
**B:** Site Plan, Floor Plans and Elevations

**REQUEST**

Request for a Use Permit to allow the construction of an addition which increases the gross floor area by more than 50% per Section 12.200.030.B.1 of the San Bruno Zoning Ordinance. Frank McAlorum (Applicant/Owner). **UP-06-09**

**RECOMMENDATION**

Staff recommends that the Planning Commission **approve** Use Permit 06-09 based on Findings of Fact (1-7) and Conditions of Approval (1-21).

**REVIEWING AGENCIES**

Community Development Department  
Public Works Department  
Fire Department

**REQUIRED LEGAL NOTICE**

1. Notices of Public Hearing mailed to owners of property within 300 feet on June 9, 2006.
2. Advertisement published in the *San Mateo Times*, Saturday, June 10, 2006.

**ENVIRONMENTAL ASSESSMENT**

This project is Categorically Exempt per the California Environmental Quality Act (CEQA) Guidelines Class 1, Section 15301: Minor Expansions to Existing Facilities.



### **EXISTING CONDITIONS**

The subject property is located on the south side of Jenevein Avenue, between Cherry Avenue and Maple Avenue. This is a rectangular-shaped lot with a total lot size of 5,000 square feet. The property is currently developed with a 1,068 square foot single story residence, including two bedrooms, one bathroom and a one-car attached garage, which has been converted into a habitable room. Although not shown on the proposed floor plan, the applicant has verbally agreed to convert the garage back to a garage use, removing an existing wall so the garage is at least 18'

deep. No additional garage space is proposed with the project.

### **SURROUNDING LAND USES**

North: Park Avenue - R-1 Zone, single-family residences  
 South: Niles Avenue - R-1 Zone, single-family residences  
 East: Cherry Ave - R-1 Zone, single-family residences  
 West: Maple Avenue - R-1 Zone, single-family residences

### **PROJECT DESCRIPTION**

The proposed project includes one-story additions located at the front and rear of the existing residence. Specifically, the front addition is proposed to be approximately 83 square feet and the rear addition is proposed to be approximately 751 square feet, for a total addition of 834 square feet.

The front addition will enlarge the existing living room and the rear addition will accommodate a new family room, a bedroom and a master suite. If approved and constructed this would be a 3-bedroom, 2-bathroom home.

Site Conditions		Zoning Requirements	Existing Conditions	Proposed Conditions
<b>Land Use</b>		R-1, Single Family Res.	R-1, Single Family Res.	Same
<b>Lot Area Min.</b>		5,000	5,000	Same
<b>Lot Coverage</b>		Max. 2,200	1,068	2,151
Lot Coverage %		44%	21%	43%
<b>Gross Floor Area</b>		Max. 2,750	1,068	1,902
Floor Area Ratio		0.55	0.21	0.38
<b>Building Setbacks</b>	Front	Min. 15'	15'	19'-6"
	Rear	Min. 10'	45'-7"	26'-7"
	North Side	Min. 5'	5'-4"	5'-4"
	South Side	Min. 5'	7'	7'
<b>Building Height</b>		Max. 28'	17'-9"	17'-9"
<b>Covered Parking</b>		2 covered spaces	1 covered space	1 covered space

### **Square Footage Breakdown:**

	First Floor	Garage	Total
Existing	833	235	1,068
Proposed	834	-	834
Total	1,667	235	1,902

### **ARCHITECTURAL REVIEW COMMITTEE**

The Architectural Review Committee (ARC) reviewed the project at its May 11, 2006 meeting, and forwarded the project to the Planning Commission with a favorable recommendation and the following comments:

- Bring color and material samples to Planning Division prior to PC meeting.
- Show sink in the front bathroom.
- Remove one of the laundry rooms from the proposed floor plan.
- Show existing laundry room on the existing floor plan.
- Redesign rear flat roof with a gable roof to match proposed front gable.
- Revise elevation plans to include the existing chimneys.
- Revise floor plans to include any fireplaces.
- Show gutters and downspouts on the elevation plans.
- Revise elevation plans to indicate that the new construction's finished materials will match existing residence.
- Remove window in the family room.
- If structurally possible, redesign the living room wall eliminating the proposed long hallway.
- Clean up details on the plans.

*Commissioners Biasotti and Sammut were present for this item.*

Since the Architectural Review Committee meeting, the applicant has submitted revised plans addressing some of the Architectural Review Committee comments. The applicant addressed the following items:

- ☐ Added the sink in the front bathroom
- ☐ Indicated existing and proposed laundry rooms.
- ☐ Added the fireplace in the floor plan and the chimney on the elevation plans
- ☐ Indicated gutter and downspouts on the elevation plans
- ☐ Indicated that the new addition's finished material will match existing.

The applicant did not address the following items:

- ☐ Revision of the proposed flat roof to a gable roof
- ☐ Elimination of the window between the living room and dining room
- ☐ Elimination of the proposed long hallway.

In regards to the roof design, the applicant informed staff he did not redesign the roof since a gable roof will require someone to engineer the roof and would result in a financial hardship to the applicant. The applicant did not agree with the recommendation to remove the window and hallway in the living room, and therefore the plans have not been revised to address the Committee's recommendation. Staff explained the intent and reasoning for staff's and Architectural Review Committee's recommendations however, the applicant chose to proceed with the application as proposed.

### **ADDITIONAL INFORMATION**

- **Accessory Structures:** This property has no accessory structures.
- **Code Enforcement:** During a site visit staff noted that the garage has been converted into habitable space, which is a code violation.
- **Easements:** Subdivision maps on file in the Public Work Department indicate that there are no easements on the subject property.
- **Heritage Trees:** There are no heritage trees onsite that will be affected by this proposal.
- **Previous additions or alterations:** Illegal garage conversion.

### **PROJECT ANALYSIS**

This project requires Planning Commission review to approve a use permit, which would allow the addition to increase the existing floor area by more than 50%. The applicant is proposing an 834 square foot addition to an existing 1,068 square foot residence, resulting in a 78% expansion.

At the Architectural Review Committee meeting, the Committee expressed concerns in regards to the proposed flat roof over the rear addition. Although the rear addition and proposed roof will not be visible from the street, the flat roof does not integrate the addition to the existing structure and is not in keeping with the use permit application requirement. The Use Permit application requires additions to be in keeping with the character of the existing neighborhood. Staff finds that a gable roof will tie the addition to the existing residence and ensure that the addition is integrated into the existing residence and is kept in harmony with the development of the neighborhood. Additionally, during the site visit, staff did not find other homes containing flat roofs adjacent to the subject property.

Another issue discussed at the Architectural Review Committee meeting was the floor plan. The Committee questioned the need for an exterior window between the proposed living room and proposed hallway. Additionally, the Committee questioned the need for a long hallway, since the long hallway provides potential for the rear addition to be converted into a second unit. The applicant explained to staff that the long hallway provides privacy to the proposed bedrooms and therefore the floor plan has not been redesigned. The wall separating the hallway and the proposed family room can be redesigned to provide privacy to the bedrooms while opening the family room to reduce the potential of a second unit conversion in the future. Staff is recommending a condition of approval that the floor plan be redesigned and approved by staff prior to the issuance of the building permit. Specifically, the applicant could extend the hallway wall in front of the bedroom doors while eliminating the portion of the wall separating the family room and the hallway.

During a site visit, staff noted that the garage shown on the plans is currently being used as a habitable room. Based on the site visit, staff finds that the wall between the garage space and the stairway into the kitchen is constructed without a permit. By removing the wall, the garage space would be 18' long, suitable for parking a modern car. Staff is recommending a condition that the garage be converted back to a garage use and that the wall between the garage and the stairway be removed so the proposed garage space is 18' long, and the stairs be relocated so it is not encroaching into the garage space. It is

important to note that if the applicant chooses not to proceed with this use permit, the garage must still be converted back into garage space.

Because there are still outstanding issues to be resolved, staff recommends that the Planning Commission approve the proposed project with the condition that the Architectural Review Committee reviews the final design of the roof and the floor plan layout.

Pursuant to the City's Zoning Code, the Commission shall grant the use permit if it makes the following findings (required findings are in **bold** followed by staff's analysis). Staff can only recommend approval of the proposed project with the conditions stated above and staff's analysis is based on this recommendation.

- 1. The proposed development will not under the circumstances of the particular case, be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use.**

With the condition that the applicant obtain a building permit prior to construction, the addition will be constructed according to the Uniform Building Code and therefore will not be detrimental to the health, safety and general welfare of the persons residing in the neighborhood. The proposed structure will remain as a single story, not incorporate windows which could have the potential to create privacy impacts on the adjacent properties, and as such will not be detrimental to the adjacent properties comfort and welfare.

- 2. The proposed development will not be injurious or detrimental to property and improvement in the neighborhood or to the general welfare of the city.**

With the condition of approval that the garage space be converted back to a garage use, and the garage space be remodeled to it is at least 18' deep, the subject property will provide the required parking and the development will not be detrimental to the improvements in the neighborhood. Furthermore, with the condition of approval requiring a gable roof, the addition will tie into the existing residence and will not be detrimental to the existing character of the neighborhood.

Overall, the proposed addition will benefit the City and the surrounding neighborhood through investment in the property and by its conformance to all of the regulations as set forth in the Zoning Ordinance. The proposed addition will be an improvement to the existing structure and the upgrades to the property should have a beneficial impact on surrounding property values. Therefore, staff determines that the addition will not be detrimental to improvements in the neighborhood or to the general welfare of the city.

- 3. The proposed development will be consistent with the general plan.**

Goal 3 of the City's 1984 General Plan states "encourage public and private development which is aesthetically sensitive to the surrounding environment and is of the highest quality design and construction." With the condition that the proposed flat roof be redesigned to a gable roof, the addition will be developed with the highest quality design and construction, and the proposed project will be consistent with the City's General Plan Goal 3.

Furthermore, Residential Policy 1 states "protect the residential character of existing residential

neighborhoods.” With the condition requiring a gable roof to tie the proposed addition into the existing residence, the proposed project will protect the character of the existing residential character, as the roof will integrate the addition to the existing house and maintain the harmony of the neighborhood development.

The General Plan designates the property as single-family residential and the proposed addition to the structure is consistent with such residential general plan designation. With the condition that the proposed hallway be redesigned, the home’s design will accommodate a single family only and no portion is intended as a second unit.

- 4. The proposed development, as set forth on the plans, will not unreasonably restrict or interfere with light and air on the property and on other property in the neighborhood, will not hinder or discourage the appropriate development and use of land and buildings in the neighborhood, or impair the value thereof; and is consistent with the design and scale of the neighborhood.**

The proposed structure will not unreasonably restrict or interfere with light and air on the property and other properties in the neighborhood since the structure will remain a single story, comply with the minimum front, rear and side setback requirements, as well as remaining well below the maximum height limit of 28 feet. The adjacent properties to the subject property sits at a slightly higher elevation than the subject residence, therefore the proposed single story addition will not create significant shadow onto the adjacent yards.

- 5. That the general appearance of the proposed building, structure, or grounds will be in keeping with the character of the neighborhood, will not be detrimental to the orderly and harmonious development of the city, and will not impair the desirability of investment or occupation in the neighborhood.**

The front addition and porch is proposed with a gable roof which will be in keeping with the character of the neighborhood which contain homes incorporating porches and gable roofs into their architectural design. The applicant is proposing to finish the proposed addition with stucco to match the existing residence, which will ensure that the addition is not detrimental to the orderly and harmonious development of the City.

With the condition that the rear flat roof be redesigned to a gable roof, the addition will be harmonious to the existing residence and the construction of the addition will clearly benefit the City and the surrounding neighborhood through investment in the property. The proposed residence will be an improvement not only to the subject property but also have a beneficial impact on adjacent property values as well.

- 6. The proposed expansion complies with applicable off-street parking standards of the zoning ordinance.**

The subject property contains an attached one-car garage which is currently being used as habitable space. With the condition that the garage space be remodeled so it is 18’ deep and be converted back to a garage use, the subject property will comply with the applicable off-street parking standards of the zoning ordinance. The total living area (excluding the garage) is 1,667 square feet and the application

does not exceed the City's 1,825 square foot parking guideline for expanded off-street parking facilities.

### **FINDINGS OF FACT**

1. The project is Categorically Exempt per the California Environmental Quality Act (CEQA) Guidelines Class 1, Section 15301: Minor expansion to an existing facility.
2. The proposed development will not under the circumstances of the particular case, be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use as the addition will require the applicant to obtain a building permit and all work will be constructed according to the Uniform Building Code and the proposal does not entail any windows which will create a privacy impact on the adjacent properties.
3. The proposed addition will be an improvement to the existing structure and the upgrades to the property should have a beneficial impact on surrounding property values and not be injurious or detrimental to property and improvement in the neighborhood or to the general welfare of the City.
4. With the proposed conditions of approval, the construction of the addition is consistent with the San Bruno General Plan, which requires public and private development to be aesthetically sensitive to the surrounding environment and to be of the highest quality design and construction designates the property for single-family residential purposes, and requires that developments protect the residential character of existing residential neighborhoods.
5. The proposed addition meets all minimum setback and height requirements per the San Bruno zoning ordinance, the proposal will remain a single story, and the subject residence sits at a lower elevation than the adjacent properties, therefore the proposal will not unreasonably restrict or interfere with light and air on the property and on other property in the neighborhood, will not hinder or discourage the appropriate development and use of land and buildings in the neighborhood, or impair the value thereof; and is consistent with the design and scale of the neighborhood.
6. The general appearance of the proposed addition is in keeping with the character of the neighborhood and will not be detrimental to the adjacent real property because with the recommended condition of approval, the design and materials will match the materials found in the immediate neighborhood and the proportions of the house are similar to other houses in the neighborhood.
7. The proposed expansion complies with applicable off-street parking standards of the San Bruno zoning ordinance.

### **CONDITIONS FOR APPROVAL**

#### **Community Development Department - (650) 616-7074**

1. The applicant shall file a declaration of acceptance of the following conditions by submitting a signed copy of the Summary of Hearing to the Department of Planning and Building within 30 days of Planning Commission approval. Until such time as the Summary is filed, Use Permit 06-09

shall not be valid for any purpose. Use Permit 06-09 shall expire one (1) year from the date of Planning Commission approval unless a building permit has been secured prior to the one (1) year date.

2. The signed copy of the conditions of approval shall be photocopied and included as a full size page in the Building Division set of drawings.
3. The request for a Use Permit for an addition shall be built according to plans approved by the Planning Commission on June 20, 2006, labeled Exhibit B except as required to be modified by these Conditions of Approval. Any modification to the approved plans shall require prior approval by the Community Development Director.
4. The applicant shall obtain a City of San Bruno building permit before construction can proceed. The operation of any equipment or performance of any outside construction related to this project shall not exceed a noise level of 85 decibels (as measured at 100 feet) during the hours of 7:00 a.m. to 10:00 p.m. or exceed 60 decibels (as measured at 100 feet) from 10:00 p.m. to 7:00 a.m.
5. Prior to Final Inspection, all pertinent conditions of approval and all improvements shall be completed to the satisfaction of the City of San Bruno.
6. The residence shall be used only as a single-family residential dwelling unit. No portion of the residence shall be rented out as a secondary residential dwelling unit. Any attempt to construct an illegal dwelling unit will result in Code Enforcement action by the City.
7. The garage shall be converted back to a garage use. The existing wall between the garage space and the stairway shall be removed so the proposed garage space is 18' long. The stairs from the garage space to the kitchen shall be relocated so it is not encroaching into the 18' garage space. A revised floor plan with the 18' deep garage shall be submitted and approved by the Architectural Review Committee prior to submittal to the Building and Safety Division for plan check.
8. The garage shall then be used for the storage of motor vehicles and shall not be used as habitable living space as defined in the Uniform Building Code. Failure to conform to this condition is grounds for code enforcement action, which may result in substantial code compliance costs to bring the garage back into conformance.
9. The wall between the proposed family room and hallway shall be redesigned to eliminate the long proposed hallway. A revised floor plan eliminating the hallway shall be reviewed and approved by the Architectural Review Committee prior to submittal to the Building and Safety Division for plan check.
10. The roof over the rear addition shall be redesigned from a flat roof to a gable roof, tying the addition to the existing home. Revised elevation and roof plans with the gable roof shall be reviewed and approved by the Architectural Review Committee prior to submittal to the Building and Safety Division for plan check.
11. The final design of the roof and floor plan shall be reviewed and approved by the Architectural Review Committee.



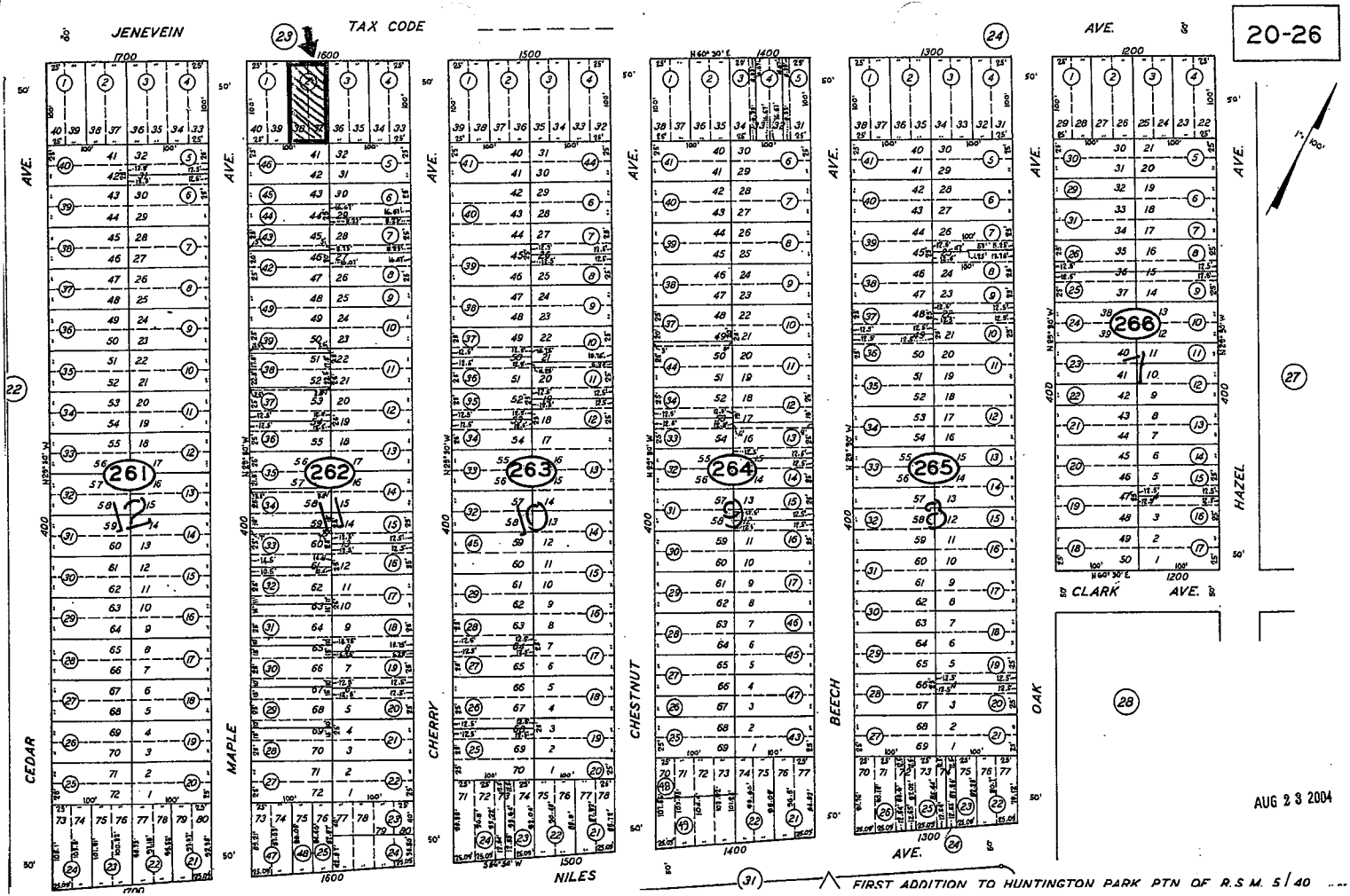
**Department of Public Works – (650) 616-7065**

- 12.No fence, retaining wall, or other permanent structure to be placed within 2'-0" from back of sidewalk. S.B.M.C. 8.08.010
- 13.Encroachment Permit from Engineering Department required prior to work. S.B.M.C. 8.16.010
- 14.Install a sanitary sewer lateral clean-out at property line per City standards detail SS-01.
- 15.Paint address number on face of curb near driveway approach. Black lettering on white background.
- 16.Replace all broken or raised concrete in sidewalk or driveway approach as marked. S.B.M.C. 8.12.010.
- 17.Storm water from new and existing roof down-spouts and other on-site drainage, shall be collected and drained to an underground storm water system or through an undersidewalk curb drain to the gutter per City standards detail SI-03. Chapter 11, UPC 1101.1.
- 18.Planting of one (1) 36-inch box size approved tree or payment of \$540.00 each to the in-lieu replacement tree fund. S.B.M.C. 8.24.060

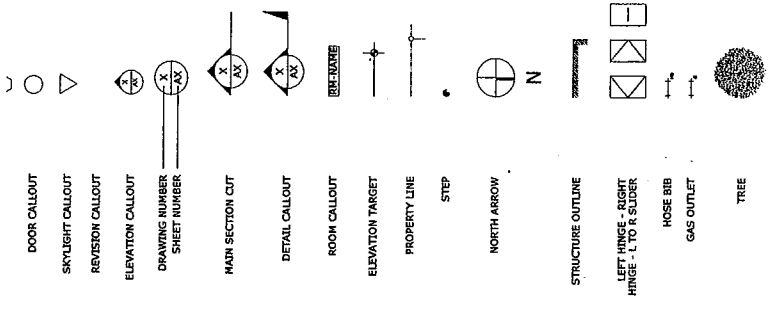
**Fire Department - (650) 616-7096**

- 19.Provide minimum 4" illuminated address numbers.
- 20.Provide hardwired smoke detectors with battery backup to all bedrooms and hallways.
- 21.Provide spark arrestor on chimney if present.

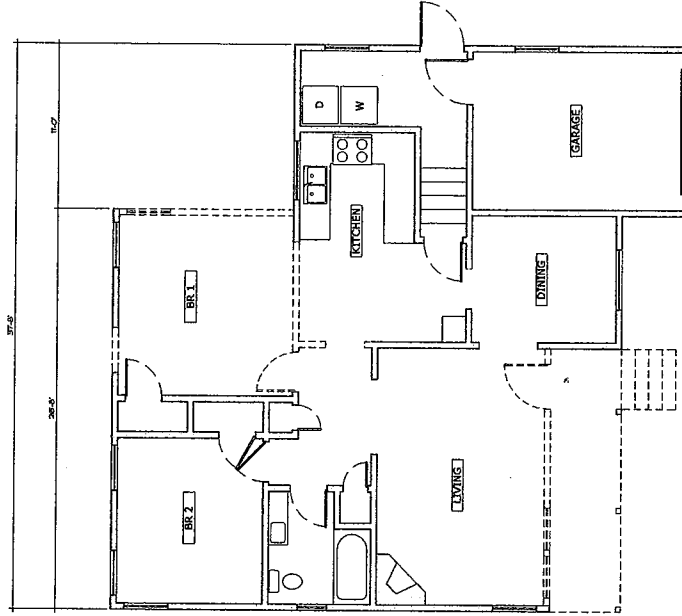
Date of Preparation: June 13, 2006  
Prepared by: Beilin Yu  
Associate Planner



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020-262-020  
UP-06-09



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——— (S) WALLS TO REMAIN  
 - - - - - (R) WALLS TO BE REMOVED

EXISTING / DEMO FLOOR PLAN 1

Revisions	By
1	JPL
2	JPL
3	JPL
4	JPL
5	JPL







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San Bruno, CA 94066  
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Fax: (650) 873-6749  
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**STAFF**

Tambri Heyden, AICP, *Community Development Director*  
Mark Sullivan, AICP, *Housing and Redevelopment Manager*  
Aaron Aknin, AICP, *Planning Manager*  
Beilin Yu, *Associate Planner*  
Tony Rozzi, *Assistant Planner*  
Lisa Costa Sanders, *Contract Planner*  
Pamela Thompson, *City Attorney*

**PLANNING COMMISSION**

Sujendra Mishra, *Chair*  
Rick Biasotti, *Vice Chair*  
Kevin Chase  
Mary Lou Johnson  
Bob Marshall, Jr.  
Perry Petersen  
Joe Sammut

**PLANNING COMMISSION  
STAFF REPORT  
AGENDA ITEM NO. E2  
June 20, 2006**

**PROJECT LOCATION**

1. Address: 510 Fourth Avenue
2. Assessor's Parcel No: 020-177-210
3. Zoning District: R-1 (Single Family Residential District)
4. General Plan Classification: Low Density Residential
5. Property is located in San Bruno Redevelopment Area

**EXHIBITS**

- A: Site Location  
B: Site Plan, Floor Plans and Elevations  
C: Letter from Mr. Robert Riechel, 536 7<sup>th</sup> Avenue

**REQUEST**

Request for a Use Permit to allow the construction of an addition which increases the gross floor area by more than 50% per Section 12.200.030.B.1 of the San Bruno Zoning Ordinance. Greg Oliver (Applicant/Owner). **UP-06-17**

**RECOMMENDATION**

Staff recommends that the Planning Commission **approve** Use Permit 06-17 based on Findings of Fact (1-6) and Conditions of Approval (1-18).

**REVIEWING AGENCIES**

Community Development Department  
Public Works Department  
Fire Department

**REQUIRED LEGAL NOTICE**

1. Notices of Public Hearing mailed to owners of property within 300 feet on June 9, 2006.
2. Advertisement published in the *San Mateo Times*, Saturday, June 10, 2006.

**ENVIRONMENTAL ASSESSMENT**

This project is Categorically Exempt per the California Environmental Quality Act (CEQA) Guidelines Class 1, Section 15301: Minor Expansions to Existing Facilities.



### **EXISTING CONDITIONS**

The subject property is located on the east side of Fourth Avenue, south of East Angus Avenue. This is a rectangular-shaped lot with a total lot size of 3,750 square feet. The property is currently developed with a 1,029 square foot single story residence, including a one-car attached 21' x 11' garage.

### **SURROUNDING LAND USES**

North: East Angus Avenue - R-1 Zone, single-family residences

South: Belle Air Elementary School

East: Seventh Ave - R-1 Zone, single-family residences

West: Third Avenue - R-1 Zone, single-family residences

### **PROJECT DESCRIPTION**

The proposed project includes a two-story addition located at the rear of the existing residence. Specifically, the first story addition is proposed to be 502 square feet and the second story addition is proposed to be approximately 537 square feet, for a total addition of 1,039 square feet. The second story is proposed to be setback approximately 30'-0" from the first story's front façade.

The first floor addition will accommodate two new bedrooms and the second story addition will accommodate a master suite. If approved and constructed this would be a 3-bedroom, 2-bathroom home.

Site Conditions		Zoning Requirements	Existing Conditions	Proposed Conditions
<b>Land Use</b>		R-1, Single Family Res.	R-1, Single Family Res.	Same
<b>Lot Area Min.</b>		5,000	3,750	Same
Adjustment factor		1.0	1.08	Same
Adjusted Lot Area		5,000	4,050	Same
<b>Lot Coverage *</b>		Max. 1,782	1,029	1,531
Lot Coverage %		44%	25%	38%
<b>Gross Floor Area *</b>		Max. 2,227.5	1,029	2,068
Floor Area Ratio		0.55	0.25	0.51
<b>Building Setbacks</b>	Front	Min. 15'	14'-6"	14'-6"
	Rear	Min. 10'	45'-7"	26'-7"
	North Side	Min. 5'	6'	6'
	South Side	Min. 5'	6'-5"	6'-5"
<b>Building Height</b>		Max. 28'	13'-0"	25'-6"
<b>Covered Parking</b>		2 covered spaces	1 covered space	1 covered space



### Square Footage Breakdown:

	First Floor	Second Floor	Garage	Shed	Total
Existing	597	-	244	188	1,029
Proposed	502	537	-	-	1,039
Total	1,099	537	244	188	2,068

### **ARCHITECTURAL REVIEW COMMITTEE**

The Architectural Review Committee (ARC) reviewed the project at its May 11, 2006 meeting, and forwarded the project to the Planning Commission with a favorable recommendation and the following comments:

- Bring color and material samples to Planning Division prior to PC meeting.
- Add an architectural feature on the sides and rear elevations, between the first and second story addition, to break up the two story walls.
- Note on the elevation plans that the new windows will be similar to the existing windows.
- Remove grids on the rear upstairs window.

*Commissioners Biasotti and Sammut were present for this item.*

Since the Architectural Review Committee meeting, the applicant has redesigned the sides and rear elevations to include a bellyband between the first and second story addition, noted on the elevations that the new windows will match the existing windows, and removed the grids from the upstairs rear window. Staff finds that these revisions address the Architectural Review Committee's comments.

### **ADDITIONAL INFORMATION**

- **Accessory Structures:** This property has an existing 188 square foot shed located in the rear yard.
- **Code Enforcement:** This property has no pending code enforcement cases on file.
- **Easements:** Subdivision maps on file in the Public Work Department indicate that there are no easements on the subject property.
- **Heritage Trees:** There are no heritage trees onsite that will be affected by this proposal.
- **Previous additions or alterations:** None.

### **PROJECT ANALYSIS**

This project requires Planning Commission review to approve a use permit, which would allow the addition to increase the existing floor area by more than 50%. The applicant is proposing a 1,038.5 square foot addition to an existing 1,029 square foot residence, resulting in a 101% expansion.

Staff finds that the addition will be in keeping with the scale of the existing neighborhood since the proposed addition will be located to the rear of the existing residence. The second story addition will be set back substantially from the front façade of the first story reducing the apparent bulk and mass from

the street. Additionally, the proposed addition will blend in well with the existing residence since the applicant is proposing to match the finished materials and colors with the existing finished materials and colors.

The neighborhood is comprised of other single-story and two-story residences, similar in scale as the proposed residence. The proposed wood siding material to match existing is a finished material found on other homes in the immediate neighborhood.

As a recommendation by staff and Architectural Review Committee, the applicant has added an architectural feature between the first and second story addition on the sides and rear elevations in order to add articulation and break up the solid two-story wall. Furthermore, staff finds that the proposed two story structure will not significantly impact the adjacent properties since the property adjacent to the right is a two-story structure and the setback to the left side property line is twice as much as the minimum required. Therefore, this will be sufficient distance to the single story residence located to the left.

Pursuant to the City's Zoning Code, the Commission shall grant the use permit if it makes the following findings (required findings are in **bold** followed by staff's analysis):

- 1. The proposed development will not under the circumstances of the particular case, be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use.**

With the condition that the applicant obtain a building permit prior to construction, the addition will be constructed according to the Uniform Building Code and therefore will not be detrimental to the health, safety and general welfare of the persons residing in the neighborhood. The proposed structure will also be constructed with sufficient distance from the property lines to provide for fire safety construction and egress requirements, therefore, the development will not be detrimental to the health and safety of the persons residing in the neighborhood.

- 2. The proposed development will not be injurious or detrimental to property and improvement in the neighborhood or to the general welfare of the city.**

The proposed addition will benefit the City and the surrounding neighborhood through investment in the property and by its conformance to all of the regulations as set forth in the Zoning Ordinance. The proposed addition will be an improvement to the existing structure and the upgrades to the property should have a beneficial impact on surrounding property values. Therefore, staff determines that the addition will not be detrimental to improvements in the neighborhood or to the general welfare of the city.

- 3. The proposed development will be consistent with the general plan.**

Goal 3 of the City's 1984 General Plan states "encourage public and private development which is aesthetically sensitive to the surrounding environment and is of the highest quality design and construction." The addition has been design with the highest quality by providing articulation in the front roof design to add interest to the residence's architectural character and by adding an architectural feature between the first and second story addition to break up a two-story wall. As such the development will be developed with the highest quality design and construction, and the proposed project

will be consistent with the City's General Plan Goal 3.

Furthermore, Residential Policy 1 states "protect the residential character of existing residential neighborhoods." The addition is proposed with the same finished materials as the existing residence, which are finished materials found in the immediate neighborhood. Furthermore, the property adjacent to the right is a two story residence with similar scale as the proposed residence, therefore the proposed structure will maintain the harmony of the neighborhood development.

The General Plan designates the property as single-family residential and the proposed addition to the structure is consistent with such residential general plan designation. With the condition that the proposed hallway be redesigned, the home's design will accommodate a single family only and no portion is intended as a second unit.

- 4. The proposed development, as set forth on the plans, will not unreasonably restrict or interfere with light and air on the property and on other property in the neighborhood, will not hinder or discourage the appropriate development and use of land and buildings in the neighborhood, or impair the value thereof; and is consistent with the design and scale of the neighborhood.**

The proposed structure will not unreasonably restrict or interfere with light and air on the property and other properties in the neighborhood since the structure will comply with the minimum front, rear and side setback requirements, as well as remaining well below the maximum height limit of 28 feet. The property adjacent to the right is a two-story structure therefore the proposed two story building will not tower over the structure to the right, and the setback to the left side property line is twice as much as the minimum required. Therefore there will be sufficient distance to the single story residence located to the left. In addition, a majority of the structure is single story as the second story is setback approximately 30' from the first story front façade and only extends approximately 20' deep.

- 5. That the general appearance of the proposed building, structure, or grounds will be in keeping with the character of the neighborhood, will not be detrimental to the orderly and harmonious development of the city, and will not impair the desirability of investment or occupation in the neighborhood.**

The character of the new structure will be consistent with the scale and design of the other homes in the immediate neighborhood and is generally pleasing in its architectural design. The second story addition is proposed toward the rear of the property reducing the apparent bulk and mass from the street. The structure adjacent to the right is two-stories, similar in scale as the proposed residence. The applicant proposed to utilize the same finished materials and features as to those finished materials found in the existing residence. The siding and composition shingles for the roofing material are finished materials complementary to the homes found in the immediate neighborhood.

The applicant has designed the plans with a bellyband between the first and second story. This architectural feature will break up two story walls and provide articulation to the proposed structure as viewed from the adjacent properties.

The construction of the addition will benefit the City and the surrounding neighborhood through

investment in the property. The proposed residence will be an improvement not only to the subject property but also have a beneficial impact on adjacent property values as well.

**6. The proposed expansion complies with applicable off-street parking standards of the zoning ordinance.**

The subject property contains an attached one-car garage and the proposal does not call for an expansion of the garage facilities. Because the total living area (excluding the garage) is 1,636 square feet, the application does not exceed the City's 1,825 square foot parking guideline for expanded off-street parking facilities. Additionally, the driveway is approximately 16'-6" deep and 18'-0" wide, wide enough to provide two additional off street parking.

**PUBLIC COMMENTS**

The City sent the required legal notices on Friday June 9, 2006 and received one public comment as of the preparation of this report. The letter from Mr. Robert Riechel, 536 7<sup>th</sup> Avenue is attached to the staff report as Exhibit "C". In his letter, Mr. Riechel expresses concerns in regards to the impact on parking and the side yard setbacks. As discussed in the Project Analysis section of the report, the proposed total living area does not exceed the City's guideline to require a second garage space. Furthermore, the subject property's driveway is able to accommodate two cars, alleviating parking impacts on the surrounding public streets.

In regards to Mr. Riechel's concern about the side yard setback, the proposed structure is maintaining the existing side yard setbacks, which are 6'-0" and 6'-5", larger than the minimum setback requirement for a regular 50' wide lot. The subject property is 38' wide, which is allowed to maintain a 3.8' side yard setback. The proposal will maintain a setback almost twice as wide as the minimum required for the subject property.

**FINDINGS OF FACT**

1. The project is Categorically Exempt per the California Environmental Quality Act (CEQA) Guidelines Class 1, Section 15301: Minor expansion to an existing facility.
2. The proposed development will not under the circumstances of the particular case, be detrimental to the health, safety, morals, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use as the addition will require the applicant to obtain a building permit and all work will be constructed according to the Uniform Building Code and the proposal does not entail any windows which will create a privacy impact on the adjacent properties.
3. The proposed addition will be an improvement to the existing structure and the upgrades to the property should have a beneficial impact on surrounding property values and not be injurious or detrimental to property and improvement in the neighborhood or to the general welfare of the City.
4. The construction of the addition is consistent with the San Bruno General Plan, which requires public and private development to be aesthetically sensitive to the surrounding environment and to be of the highest quality design and construction designates the property for single-family residential purposes, and requires that developments protect the residential character of existing residential neighborhoods.

5. The proposed addition meets all minimum setback and height requirements per the San Bruno zoning ordinance, most of the proposed structure will remain a single story with the second story addition setback 30' from the first story front façade and only be approximately 20' deep, therefore the proposal will not unreasonably restrict or interfere with light and air on the property and on other property in the neighborhood, will not hinder or discourage the appropriate development and use of land and buildings in the neighborhood, or impair the value thereof; and is consistent with the design and scale of the neighborhood.
6. The general appearance of the proposed addition is in keeping with the character of the neighborhood and will not be detrimental to the adjacent real property because the design and materials will complement the materials found in the immediate neighborhood and the proportions of the house are similar to other houses in the neighborhood.
7. The proposed expansion complies with applicable off-street parking standards of the San Bruno zoning ordinance.

### **CONDITIONS FOR APPROVAL**

#### **Community Development Department - (650) 616-7074**

1. The applicant shall file a declaration of acceptance of the following conditions by submitting a signed copy of the Summary of Hearing to the Department of Planning and Building within 30 days of Planning Commission approval. Until such time as the Summary is filed, Use Permit 06-17 shall not be valid for any purpose. Use Permit 06-17 shall expire one (1) year from the date of Planning Commission approval unless a building permit has been secured prior to the one (1) year date.
2. The signed copy of the conditions of approval shall be photocopied and included as a full size page in the Building Division set of drawings.
3. The request for a Use Permit for an addition shall be built according to plans approved by the Planning Commission on June 20, 2006, labeled Exhibit B except as required to be modified by these Conditions of Approval. Any modification to the approved plans shall require prior approval by the Community Development Director.
4. The applicant shall obtain a City of San Bruno building permit before construction can proceed. The operation of any equipment or performance of any outside construction related to this project shall not exceed a noise level of 85 decibels (as measured at 100 feet) during the hours of 7:00 a.m. to 10:00 p.m. or exceed 60 decibels (as measured at 100 feet) from 10:00 p.m. to 7:00 a.m.
5. Prior to Final Inspection, all pertinent conditions of approval and all improvements shall be completed to the satisfaction of the City of San Bruno.
6. The residence shall be used only as a single-family residential dwelling unit. No portion of the residence shall be rented out as a secondary residential dwelling unit. Any attempt to construct an illegal dwelling unit will result in Code Enforcement action by the City.

7. The garage shall be used for the storage of motor vehicles and shall not be used as habitable living space as defined in the Uniform Building Code. Failure to conform to this condition is grounds for code enforcement action, which may result in substantial code compliance costs to bring the garage back into conformance.
8. The proposed addition must be setback at least 6'-0" from the existing shed.
9. The applicant shall redesign the door into the garage so the door swings out to the side yard and does not encroach into the garage space.
10. Site drainage to be reconciled. Site terrain to be shown on site plans based on reliable information. Drainage design to be shown on the permit plans.

**Department of Public Works – (650) 616-7065**

11. No fence, retaining wall, or other permanent structure to be placed within 2'-0" from back of sidewalk. S.B.M.C. 8.08.010
12. Encroachment Permit from Engineering Department required prior to work. S.B.M.C. 8.16.010
13. Install a sanitary sewer lateral clean-out at property line per City standards detail SS-01.
14. Paint address number on face of curb near driveway approach. Black lettering on white background.
15. Erosion control plan and storm water pollution plan required. Must show existing storm drain inlets and other storm water collection locations protect by silt screens or silt fence. Work shall conform with the current NPDES requirements. S.B.M.C. 12.16.020
16. Storm water from new and existing roof down-spouts and other on-site drainage, shall be collected and drained to an underground storm water system or through an undersidewalk curb drain to the gutter per City standards detail SI-03. Chapter 11, UPC 1101.1.
17. Planting of one (1) 36-inch box size approved tree or payment of \$540.00 each to the in-lieu replacement tree fund. S.B.M.C. 8.24.060

**Fire Department - (650) 616-7096**

18. Provide minimum 4" illuminated address numbers.

Date of Preparation: June 7, 2006  
Prepared by: Beilin Yu  
Associate Planner

COMMUNITY DEVELOPMENT DEPARTMENT

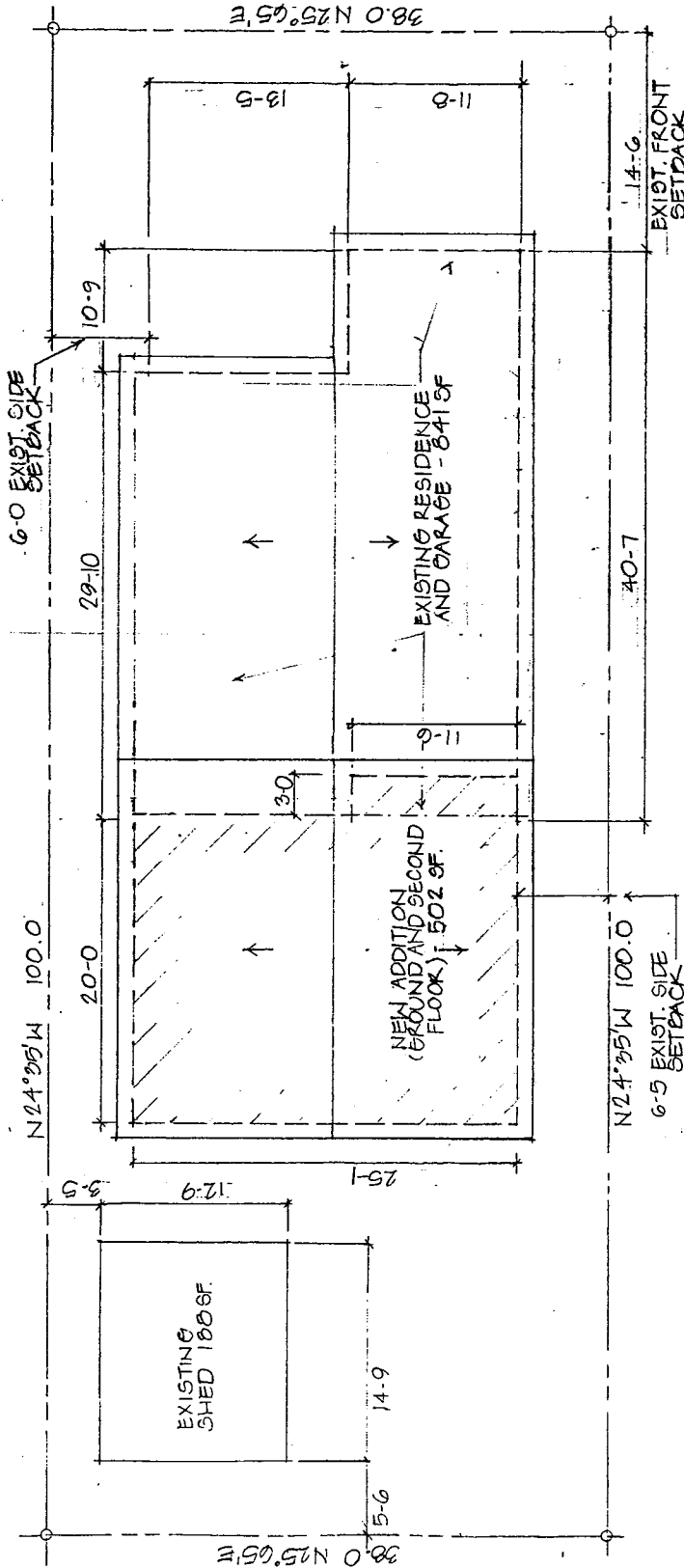


karenchowdesigns  
1017 El Camino Real  
pmh 410  
Redwood City, CA  
650 364 3676  
kichev@earthlink.net

Oliver Residence/New Addition  
510 Fourth Avenue, San Bruno, 94066

18 Apr 06

A1



### plan notes

Note: Field verify dimensions. Do not measure drawings directly as there is shrinkage or expansion from the photocopying process. If there are any discrepancies, please notify the building designer.

- Homeowner's name and address:  
Fran and Greg Oliver  
510 Fourth Avenue  
San Bruno, CA 94066
- APN: 020 177 210, Zone: R-1(0006), residential single family, Square footage of property: 5,000 sf.
- Existing square footages:  
Existing residence and 1 car garage: 841 sf  
Existing (temporary) shed: 188 sf  
Total square footage: 1,029 sf

- Proposed project, scope of project:  
502 sf ground floor addition - bedroom and bath  
536.5 sf upper floor addition - master bedroom suite  
188 sf shed to remain as existing

- Maximum allowable lot coverage:  
3,800 sf. (Gross lot area)  
x 1.08 (Adj. factor, Chart 1)  
= 4,104 sf (Adjusted lot area)  
x .55 (Max. FAR, Chart 2)  
= 2,257.20 sf (Maximum Permitted Floor Area)  
New residence (ground floor): 1,343 sf  
New upper floor addition: 536.5 sf  
Existing shed 188 sf

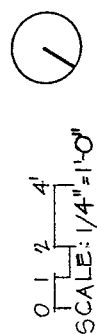
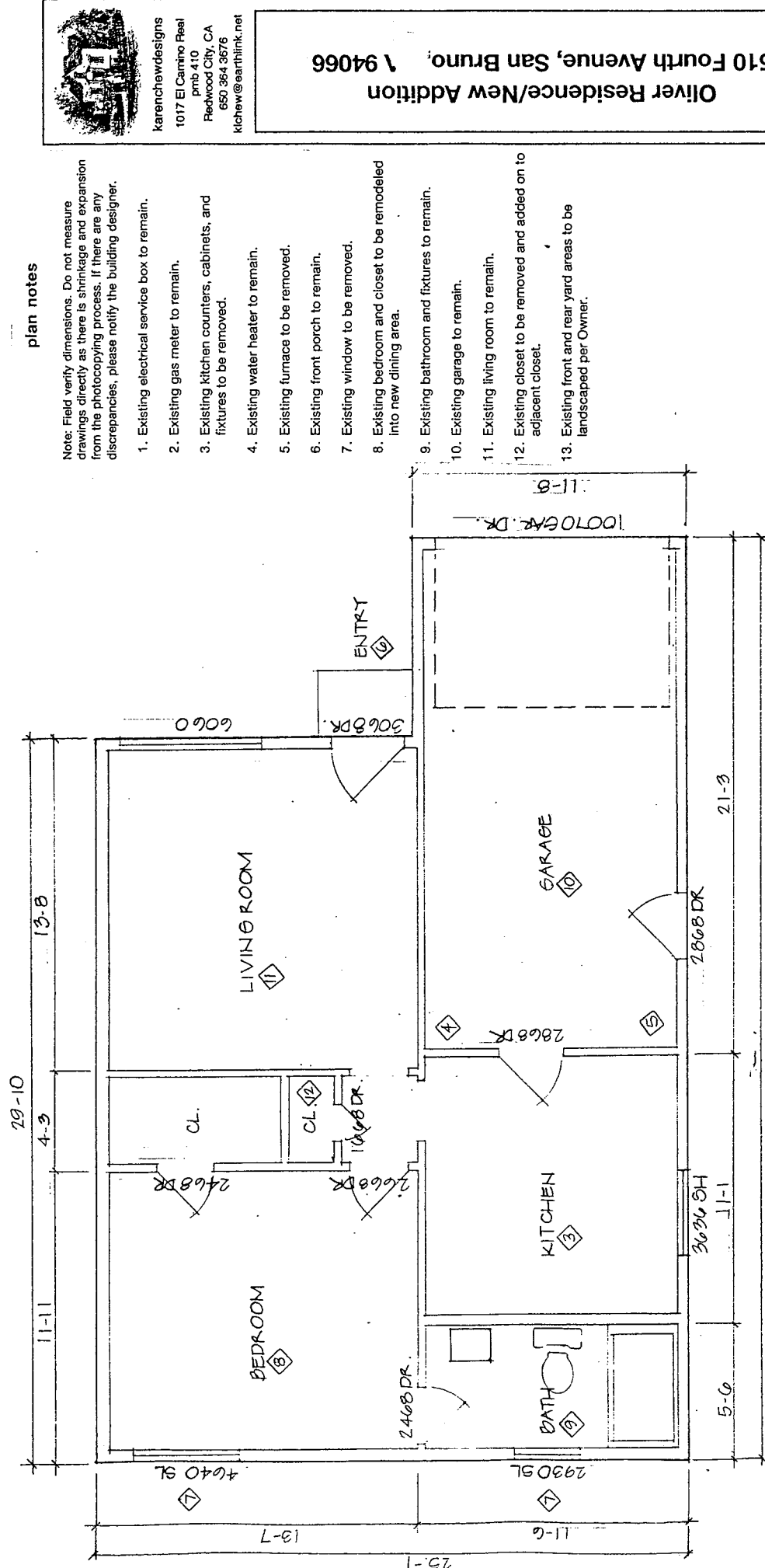
- Landscaping by owner.

CITY OF SAN BRUNO  
COMMUNITY DEVELOPMENT DEPARTMENT

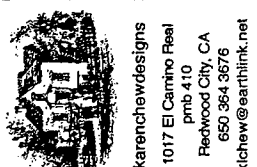
MAY 30 2006

RECEIVED





EXISTING FLOOR PLAN



**karenchewdesigns**  
1017 El Camino Real  
PMB 410  
Redwood City, CA  
650 364 3676  
kchew@earthlink.net

**Oliver Residence/New Addition**  
510 Fourth Avenue, San Bruno, CA 94066

18 Apr 16  
A2

plan notes

Note: Field verify dimensions. Do not measure drawings directly as there is shrinkage and expansion from the photocopying process. If there are any discrepancies, please notify the building designer.

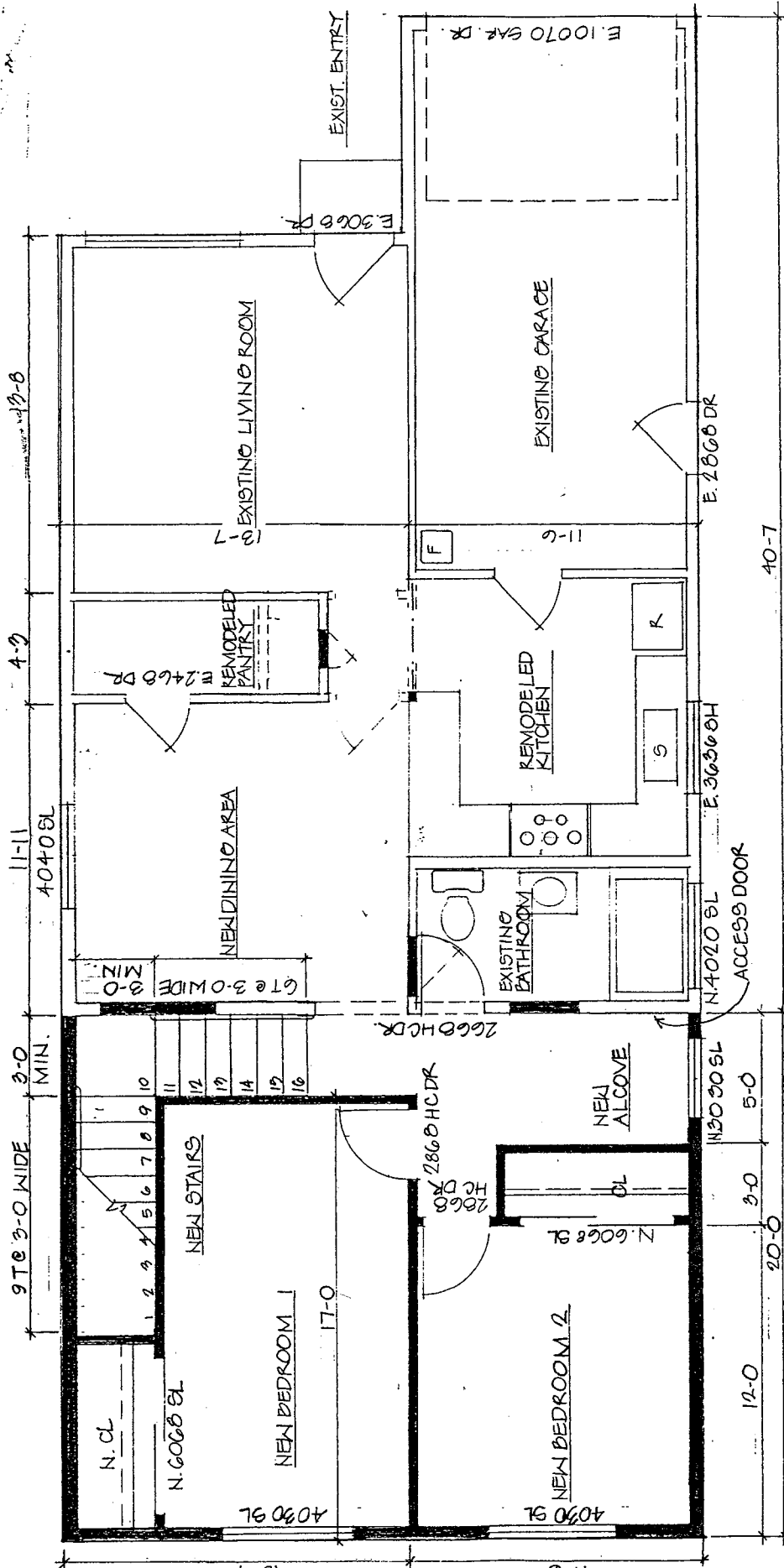


karenchewdesigns  
1017 El Camino Real  
PMB 411  
Redwood City, CA 94066  
A  
kchew@earthlink.net

510 Fourth Avenue, San Bruno, CA 94066  
Oliver Residence/New Addition

18-Apr-2006

A3



0 1 2 4'  
SCALE: 1/4" = 1'-0"

NEW LOWER FLOOR PLAN - GENERAL



karenchewdesigns  
1017 El Camino Real  
PMB 410  
Redwood City, CA  
650 364 3878  
kchew@earthlink.net

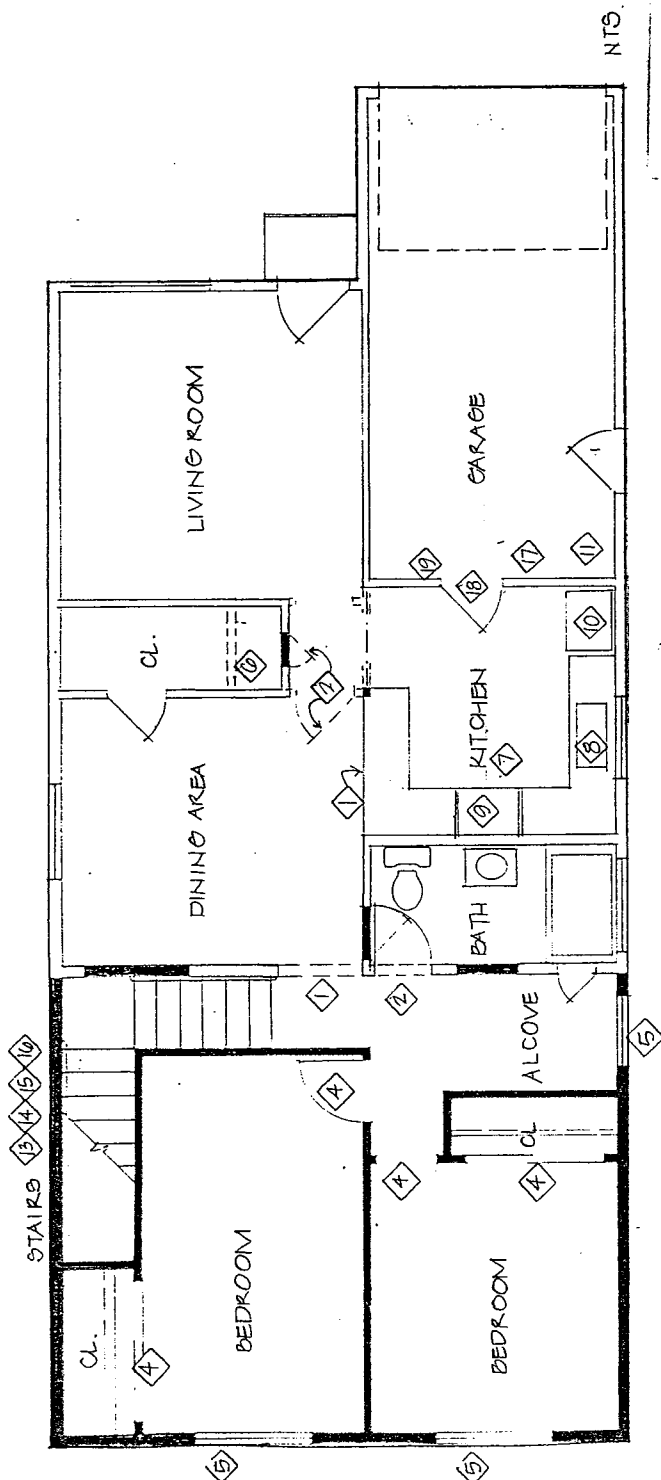
510 Fourth Avenue, San Bruno CA 94066

Oliver Residence/New Addition

18 Apr '99

3

A4



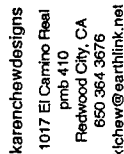
## NEW LOWER FLOOR PLAN NOTES

1. Egress windows: One window in each sleeping room (bedroom) must have a min. net clear openable area of 5.7 ft., with a min. net clear openable height of 24" min. net clear openable width of 20", and finished sill height of not more than 44" above the floor.
2. Insulation requirements: Underfloor to be R-19 min; walls R-13 min.; ceilings R-30 min.
3. New gas range to be installed. Provide new vent with proper termination.
4. Refrigerator by Owner.
5. New furnace to be installed. Provide 24" clearance in front of furnace and a min. 2" space at all sides.
6. New stairs to upper floor. storage below as available. Minimum headroom clearance shall be 6'-8".
7. New stairway to have bullnose Douglas Fir treads, 1/2" plywood risers. Sidelwall on lower portion to be 2x4 framed with finished height minimum of 2'-1/4" above nosing. Cap wall with 1x8 clear board. Provide and install wood railing per UBC requirements, owner to select style.
8. Stair rise to be 8" maximum, treads to be 9" minimum. Headroom to be 6'-8" minimum. Stair width to be 36" minimum to finish materials. Variation between risers to be 3/8" maximum.
9. Handrails shall not project more than 3-1/2" into each side of the required width. Stringer and other projections, such as trim, are limited to 1-1/2" each side. Maximum 3-3/4" between vertical rails.
10. Handrails are required with four or more risers. Hand-
11. Verify (and provide if needed) that the door to the garage is a self-closing, tight-fitting 1-3/8" solid core door with gasket.
12. Verify (and provide if needed) that any walls and floors between the garage and living area is minimum one-hour fire-resistive construction (5/8" gypsum board with insulation, firetape).
13. All hose bibbs to have non-removable backflow prevention devices.
14. Provide crawl space access within 20' of plumbing cleanouts.
15. All plumbing vents shall maintain a minimum of 10'-0" of clearance from operable skylights and openable windows.
16. New kitchen counters, cabinets, and under-cabinet lighting fixtures to be provided and installed.
17. New kitchen sink and garbage disposal to be installed. Provide separate circuit. New dishwasher to be installed. Provide new air gap. Provide separate 20 amp circuit.

### plan notes

Note: Please field verify dimensions. Do not measure drawings directly as there is shrinkage and expansion from the photocopying process. If there are any discrepancies, notify the building designer.

1. Demolish and remove existing wall.
2. Remove existing door.
3. Install new wall.
4. Install new door.
5. New windows to be installed. Install new 4x header if needed at each location. Size specified on drawing, by individual window
6. Existing closet: Remove existing closet door, provide and install 2x stud wall.
7. New kitchen counters, cabinets, and under-cabinet lighting fixtures to be provided and installed.
8. New kitchen sink and garbage disposal to be installed. Provide separate circuit. New dishwasher to be installed. Provide new air gap. Provide separate 20 amp circuit.



Oliver Residence/New Addition  
510 Fourth Avenue, San Bruno CA 94066

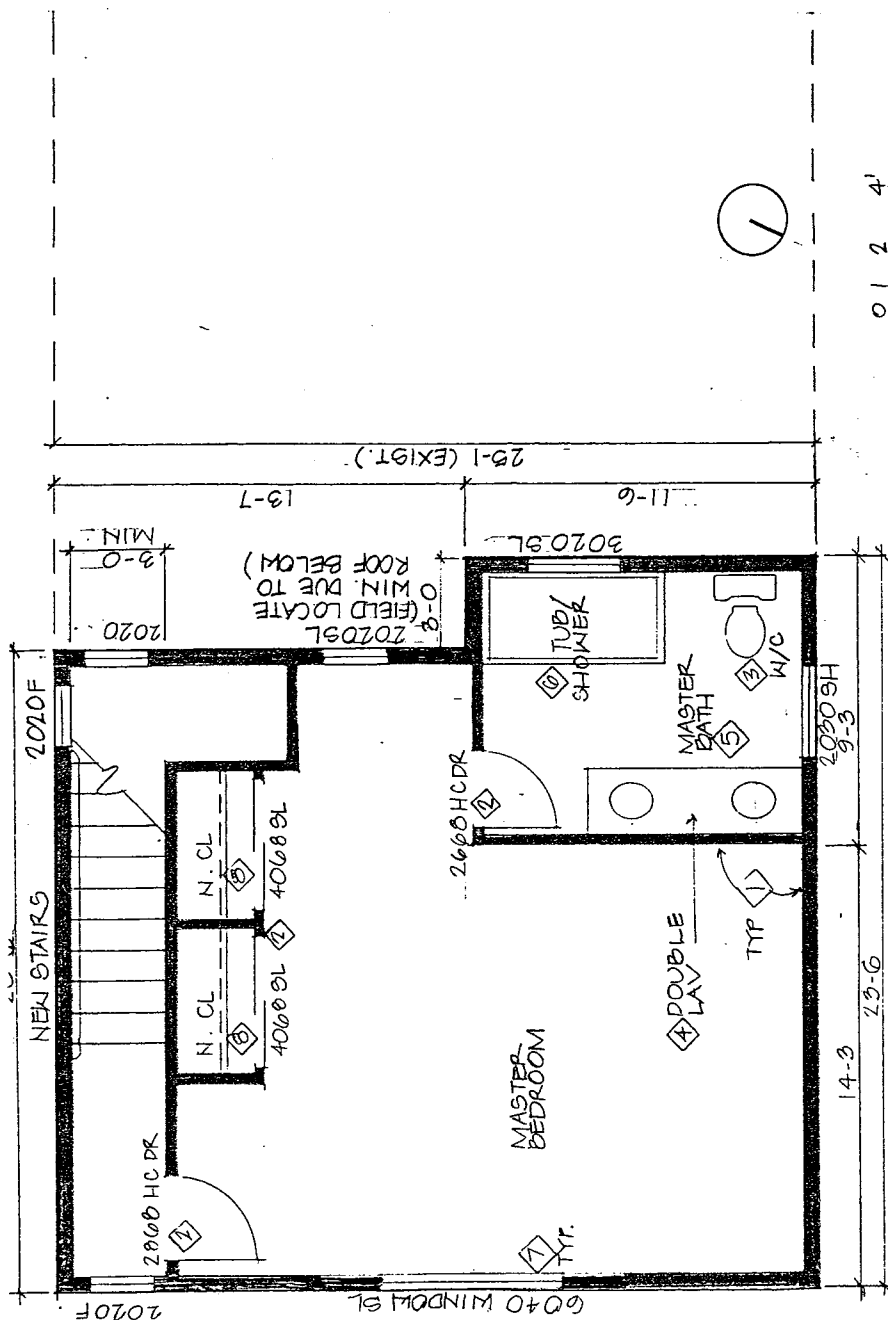
18 Apr

A5

## plan notes

**Note:** Please field verify dimensions. Do not measure drawings directly as there is shrinkage and expansion from the photocopying process. If there are any discrepancies, notify the building designer.

1. Install new wall.
2. Install new door.
3. New toilet to be installed. Toilets to have clear spaces of not less than 30" in width and 24" in front. Toilets to have maximum allowable 1.6 gallons of water per flush.
4. New double lav to be installed.
5. New medicine cabinet, bathroom mirror, and accessories to be installed by owner.
6. New tub with shower enclosure to be installed with 1/2" durock or greenboard sheetrock 6'-0" above floor under ceramic tile or approved laminates. Provide thermomixing valve, shower curtain rod or tempered glass doors.
7. New windows to be installed. Install new 4x header if needed at each location. Size specified on drawing, by individual window.
8. New closets: provide and install new shelf and pole, per owner.
9. Smoke detectors shall be provided in all bedrooms, one centrally located in hallways to bedrooms, and one at each story. New smoke detectors shall be 110v, hardwired with battery back-up.
10. Egress windows: One window in each sleeping room must have a min. net clear operable area of 5.7 ft., with a min. net clear operable height of 24", min. net clear operable width of 20", and finished sill height of not more than 44" above the floor.
11. Insulation requirements: Underfloor to be R-19 min; walls R-13 min.; ceilings R-30 min.



NEW UPPER FLOOR PLAN - GENERAL



karenhewdesigns  
1017 El Camino Real  
PMB 410  
Redwood City, CA  
94063 364 3676  
kichew@earthlink.net

Oliver Residence/New Addition  
510 Fourth Avenue, San Bruno  
A 94066

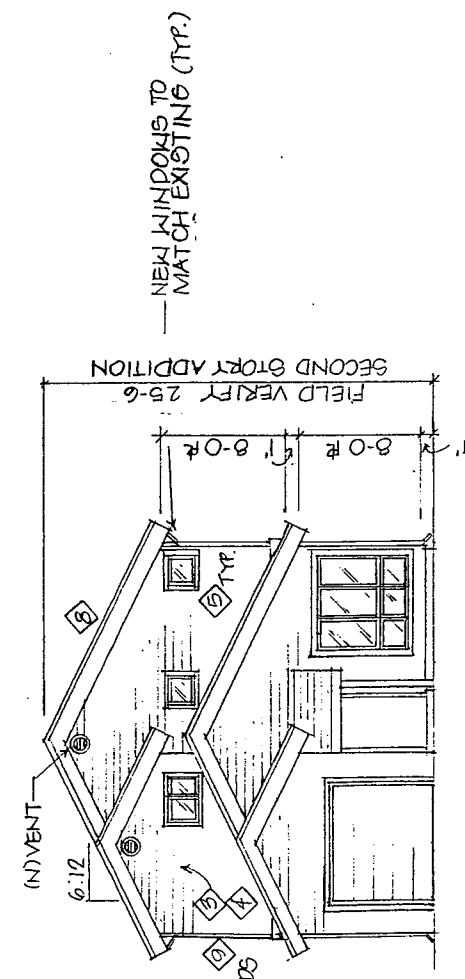
18th, 3rd  
20 May 2006

A6

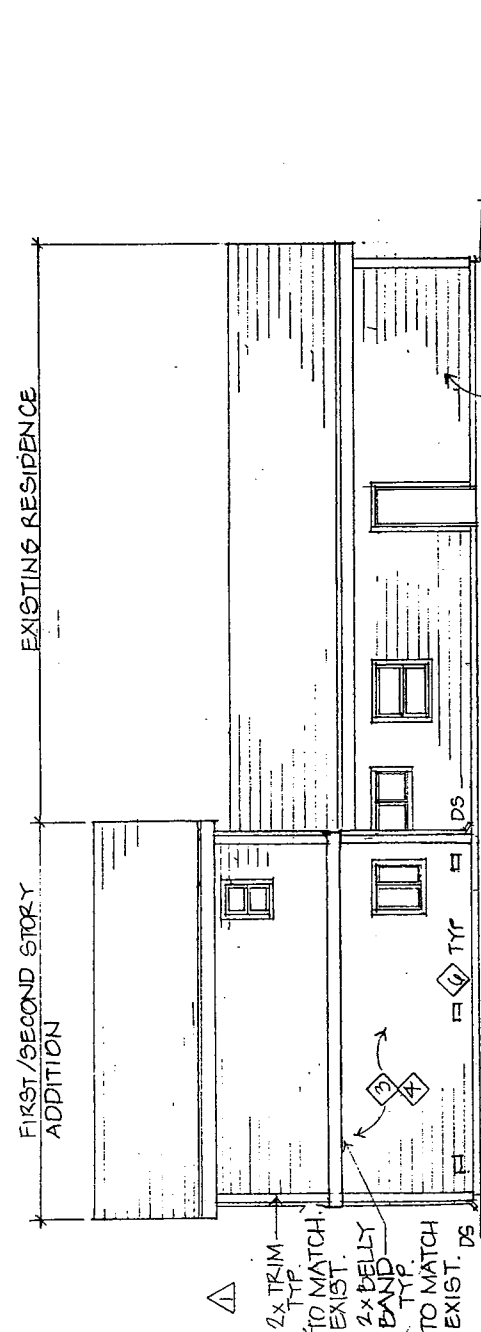
# plan notes

Note: Please field verify dimensions. Do not measure drawings directly as there is shrinkage and expansion from the photocopying process. If there are any discrepancies, notify the building designer.

1. Existing electrical service box.
2. Existing gas meter.
3. Provide and install new horizontal wood siding to match existing.
4. New paint - owner to select brand and color.
5. New windows - see floor plans for sizes and locations.
6. Provide 26 ga. weep screed at the foundation plate on all exterior stud walls. The screed shall be of a type which will allow trapped water to drain to the exterior of the building.
7. All plumbing vents shall maintain a minimum of 10'-0" of clearance from operable skylights and operable windows.
8. New gable roof typical. Roofing material: Class A composition shingles over 1/2" plywood sheathing.
9. New downspout (DS).



## WEST



0 1 4 8'  
SCALE: 1/8"=1'-0"

## NEW EXTERIOR ELEVATIONS NORTH

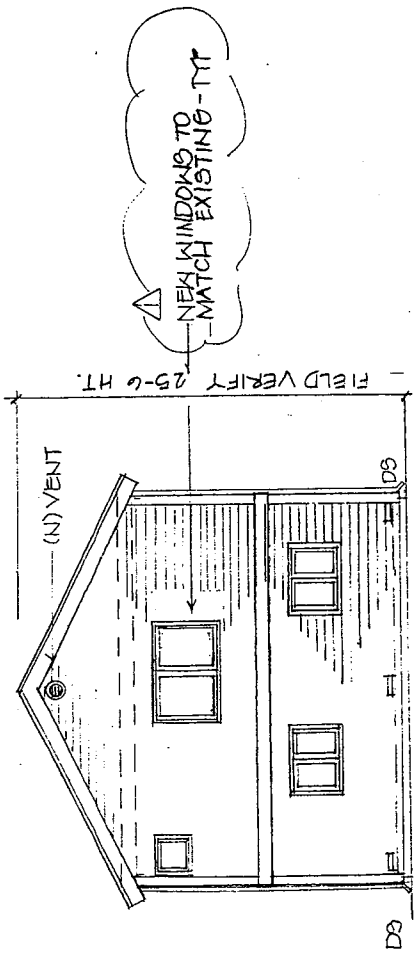


karenchewdesigns  
1017 El Camino Real  
pmb 410  
Redwood City, CA  
650 364 3676  
kichev@earthlink.net

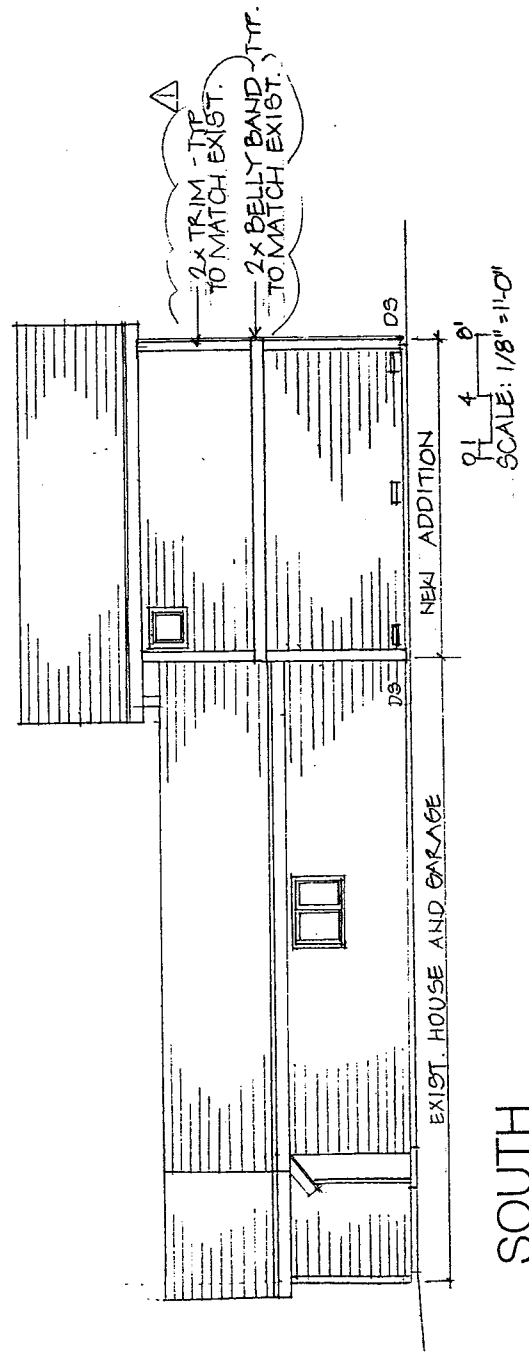
Oliver Residence/New Addition  
510 Fourth Avenue, San Bruno CA 94066

18 Apr 06  
30 March 06

A7



EAST



SOUTH

CITY OF SAN BRUNO  
COMMUNITY DEVELOPMENT DEPARTMENT

DATE: 12 June 2006

JUN 12 2006

TO: City of San Bruno  
ATTN: Community Development  
Miss Beilin Yu - Associate Planner

RECEIVED  
fax - 873-6749

CC: Planning Commission - faxed to City Clerk

SUBJ: 510 - Fourth Avenue - UP-06-17

Dear Miss Yu:

I am in receipt of your notice to neighboring property owners concerning the application by the owner of 510 - 4<sup>th</sup> Avenue to add an addition to his property that would increase the gross floor area by more than 50%.

My concerns:

1. Property is zoned R-1 and I can not determine how many additional bedrooms and bathrooms will be added, but I am concerned in the apparent increasing of the number of persons able to reside here.
2. This property is a couple of properties away from the FIRE LANE GATE at the SOUTH end of the street next to the Belle Air School and when I drove by the other day there was a car parked directly in front of the no parking sign on the FIRE LANE GATE. I am concerned with the number of OFF STREET parking spaces currently required for this property and those additionally required as part of this proposed addition. The Belle Air district, with its narrow properties, continues to have very limited off-street parking and if this proposed addition will lead to additional persons desiring to park additional vehicles on 4<sup>th</sup> Avenue, I see that these additional vehicles will over tax the limited existing spaces.
3. It is my belief that during the school year parent traffic is directed away from Belle Air School NORTH along 4<sup>th</sup> Avenue, so additional cars trying to park on the 500 block of 4<sup>th</sup> could negatively effect car movement.
4. With the current 38 foot property frontage, I feel that this large of an addition is out of scale for THIS size property.
5. I am concerned about the north and south side of the property set back from the adjacent properties. Less than the 5 foot setback on each side adds to increasing the density of the property.

I ask the Planning commission to require additional off street parking before you consider granting this requested addition.

I will be out of state on June 20<sup>th</sup> 2006 and therefore unable to personally attend the scheduled planning commission meeting.

Should this matter be postponed, continued, or extended to a future date(s), please furnish me with the details.

Sincerely,

signed and faxed by the computer for

Robert Riechel  
536 - 7<sup>th</sup> Avenue  
San Bruno, CA 94066-4522